

CALL BEFORE YOU DIG!  
PENNSYLVANIA LAW REQUIRES  
3 WORKING DAYS NOTICE FOR  
CONSTRUCTION PHASE AND 10 WORKING  
DAYS IN DESIGN STAGE--STOP CALL

Pennsylvania One Call System, Inc.

1-800-242-1776

ONE CALL NOTE  
NO SCALE

ACT 287 SERIAL NUMBER: 20241500848

HOWELL ENGINEERING DOES NOT GUARANTEE THE  
ACCURACY OF THE LOCATIONS FOR EXISTING SUBSURFACE  
UTILITY LINES, STRUCTURES, ETC. SHOWN ON THE PLANS,  
NOR DOES HOWELL ENGINEERING GUARANTEE THAT ALL  
SUBSURFACE UTILITY LINES, STRUCTURES, ETC. ARE SHOWN.  
CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATIONS  
OF ALL SUBSURFACE UTILITY LINES, STRUCTURES, ETC.  
BEFORE THE START OF WORK, BY CALLING THE  
PENNSYLVANIA ONE CALL SYSTEM AT 1-800-242-1776.

GENERAL NOTES

1. RECORD OWNER/WALING & SITE ADDRESS:  
1414 BIRCHRUN ROAD LLC  
1414 BIRCHRUN RD  
CHESTER SPRINGS, PA 19425
2. TAX PARCEL #: 25-3-101.1 & 25-3-101.1A
3. SOURCE OF TITLE: RECORD BOOK 11015, PAGE 1050
4. LOT AREA: 13.05 ACRES & 9.84 ACRES
5. TOPOGRAPHY AND PHYSICAL IMPROVEMENTS SHOWN ARE FROM FIELD SURVEY BY HOWELL SURVEYING, LLC, PERFORMED ON 04/19/2019.
6. THIS MAP AND SURVEY WERE PREPARED FROM INFORMATION OF RECORD, FURNISHED AND/OR OBTAINED, TOGETHER WITH EVIDENCE FOUND ON THE GROUND. THIS PLAN DOES NOT REPRESENT A BOUNDARY SURVEY. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A CURRENT TITLE REPORT, WHICH WOULD DISCLOSE ANY RIGHTS, RESERVATIONS, EASEMENTS, ETC., OF RECORD.
7. CONTOURS PLOTTED FROM FIELD PLAN TOPOGRAPHIC SURVEY BY HOWELL SURVEYING, LLC., DATUM: NAVD 83 (COMPUTED USING GED018) & NAD 83 (2011) (EPOCH2010.0000) (AS DETERMINED BY GPS OBSERVATION), SITE BENCH = UTILITY MANHOLES AS SHOWN ON PLAN, ELEVATION = 548.78', CONTOUR INTERVAL: 2 FEET.
8. UNDERGROUND UTILITIES SHOWN WERE PLOTTED FROM OBSERVABLE EVIDENCE AT THE TIME OF SURVEY AND INFORMATION FROM PLANS SUPPLIED BY UTILITY COMPANIES. NO GUARANTEE IS MADE THAT UNDERGROUND UTILITIES ARE ACCURATELY OR COMPLETELY SHOWN HEREON.
9. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A CURRENT TITLE REPORT, WHICH WOULD DISCLOSE ANY RIGHTS, RESERVATIONS, EASEMENTS, ETC., OF RECORD.
10. THIS PROPERTY IS LOCATED WITHIN FLOOD HAZARD ZONE X, AN AREA OF MINIMAL FLOOD HAZARD PER THE NATIONAL FLOOD INSURANCE RATE MAP FOR CHESTER COUNTY, PA, MAP NO. 4206900505, DATED SEPTEMBER 29, 2017.

REFERENCE PLANS

1. PLAN ENTITLED "PLAN OF SUBDIVISION FOR WILLIAM SULTZER", PREPARED BY CHESTER VALLEY ENGINEERS, INC., DATED 09/18/1986, LAST REVISED 04/20/1997, RECORD PLAN BOOK #1136.
2. PLAN ENTITLED "LOT LINE ADJUSTMENT PLAN FOR OLD RIDGE FARM SUBDIVISION", PREPARED BY BEEBEAN ASSOCIATES, INC., DATED APRIL 7, 1999, RECORD PLAN BOOK #11436.

REQUESTED WAIVER(S):

1. SECTION 315-13(F) - A WAIVER IS REQUESTED FOR THE FIVE-STEP DESIGN PROCESS
2. SECTION 315-13(L)(1) - A WAIVER IS REQUESTED FOR THE SEWER FEASIBILITY REPORT
3. SECTION 315-13(L)(2) - A WAIVER IS REQUESTED FOR THE HYDROGEOLOGY AND GROUNDWATER PROTECTION STUDY
4. SECTION 315-13(L)(5) - A WAIVER IS REQUESTED FOR THE TRAFFIC IMPACT STUDY
5. SECTION 315-13(L)(6) - A WAIVER IS REQUESTED FOR THE NOTIFICATION OF OWNERS WITHIN 500 FEET.

IMPERVIOUS TABULATION	
PROPOSED IMPERVIOUS	
DRYING	5,459 S.F.
PERIMETER	2,875 S.F.
GAUGE	1,002 S.F.
ROOF OVERHANG	760 S.F.
CONCRETE SLABS	603 S.F.
CONCRETE WALLS	429 S.F.
WELLS	429 S.F.
MISCELLANEOUS	50 S.F.
<b>TOTAL PROPOSED IMPERVIOUS</b>	<b>11,433 S.F.</b>
TOTAL IMPERVIOUS TO REMAIN	21,439 S.F.
<b>TOTAL IMPERVIOUS COVERAGE</b>	<b>32,842 S.F.</b>

\* DUE TO THE LIMITED SCOPE OF IMPROVEMENTS, ONLY PARTIAL DETAILED PHYSICAL IMPROVEMENTS AND TOPOGRAPHY HAVE BEEN FIELD SURVEYED. FOR PURPOSES OF CALCULATING THE ADJUSTED TRACT AREA, A COMBINATION OF FIELD SURVEY AND OS INFORMATION WERE UTILIZED TO QUANTIFY THE APPROXIMATE AREAS ABOVE.

ZONING DATA TABULATION

WEST VINCENT TOWNSHIP ZONING ORDINANCE  
ARTICLE VI, R-3 RESIDENTIAL DISTRICT  
SECTION 300-22 - USE REGULATIONS  
A(8) USES BY RIGHT - SINGLE-FAMILY DETACHED DWELLING

SECTION 300-20 - AREA, BULK AND LOT/LAYOUT REGULATIONS  
APPENDIX F, SECTION 501.

	REQUIRED	EXISTING LOT 101.1	EXISTING LOT 101.1B	PROPOSED LOT 101.1	PROPOSED LOT 101.1B
LOT AREA	3 ACS.	13.04 ACS.	9.84 ACS.	21.34 ACS.	31.47 ACS.
LOT AREA, NET	20,000 S.F.	807,303 S.F.	1,833,179 S.F.	969,718 S.F.	1,370,784 S.F.
MIN. LOT WIDTH	225 FT.	>225 FT.	>225 FT.	>225 FT.	>225 FT.
MIN. LOT WIDTH AT BLDG. SETBACK LINE	75 FT.	>75 FT.	>75 FT.	>75 FT.	>75 FT.
MIN. FRONT YARD	75 FT.	664.3 FT.	N/A	664.3 FT.	N/A
MIN. SIDE YARD	40 FT.	454.7 FT.	N/A	454.7 FT.	N/A
MIN. REAR YARD	40 FT.	138.5 FT.	N/A	131.7 FT.	N/A
MIN. FRONT YARD FOR ACCESSORY STRUCTURES(**)	150 FT./75 FT.	610.8 FT.	N/A	610.8 FT.	N/A
MIN. SIDE YARD FOR ACCESSORY STRUCTURES	30 FT.	333.8 FT.	N/A	333.8 FT.	N/A
MIN. REAR YARD FOR ACCESSORY STRUCTURES	30 FT.	175.0 FT.	N/A	175.0 FT.	N/A
MAX. LOT COVERAGE	12%	3.5%	OR	3.5%	OR
MAX. HEIGHT FOR PRINCIPAL DWELLING	35 FT.	<35 FT.	<35 FT.	<35 FT.	<35 FT.
MAX. HEIGHT FOR ACCESSORY BUILDING	25 FT.	<35 FT.	<35 FT.	<35 FT.	<35 FT.

(\*) EXISTING NON-CONFORMITY  
(\*\*) ACCESSORY BUILDINGS AND STRUCTURES, EXCLUDING AGRICULTURAL BUILDINGS AND STRUCTURES FOOTPRINT IS NO GREATER THAN THE TOTAL BUILDING FOOTPRINT OF THE PRINCIPAL BUILDING ON THE LOT  
(\*\*\*) ACCESSORY BUILDINGS AND STRUCTURES SHALL BE SCREENED ACCORDING TO SECTION 1806B OF THIS ORDINANCE.

UPI#: 25-3-101.1 & 25-3-101.1B

# PRELIMINARY MINOR SUBDIVISION PLAN

OF

# 1414 BIRCHRUN ROAD

SITUATED IN

# WEST VINCENT TOWNSHIP, CHESTER COUNTY PENNSYLVANIA

DRAWING INDEX		
Sheet Number	Drawing Number	Sheet Title
01	C01.1	COVER SHEET
02	C01.2	OVERALL MINOR SUBDIVISION PLAN
03	C01.3	MINOR SUBDIVISION PLAN
04	C02.1	EXISTING CONDITIONS
05	C03.1	GRADING & UTILITIES PLAN
06	C03.2	EROSION CONTROL PLAN
07	C03.3	NOTES & DETAILS
08	C04.1	PCSM PLAN
09	C04.2	PCSM NOTES & DETAILS
10	C04.3	DRAINAGE AREA PLAN

RECEIVED

AUG 20 2024



PLAN PURPOSE

THE PURPOSE OF THIS PLAN IS TO PROVIDE DETAILED INFORMATION TO OBTAIN APPROVAL FOR THE MINOR SUBDIVISION PLAN THAT INCLUDES THE CONSTRUCTION OF A SINGLE-FAMILY DWELLING AND ASSOCIATED IMPROVEMENTS ON THE PROPERTY.

NO.	DATE	DESCRIPTION
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1		



PREPARED BY:

**HOWELL ENGINEERING**  
Local Knowhow. Engineered.

Civil Engineering | Land Planning | Environmental  
1250 Wrights Lane, West Chester, PA 19380  
Phone: (610) 918-9002 Fax: (610) 918-9003

DATE:	08/19/2024
SCALE:	N.T.S.
DRAWN BY:	PSM
CHECKED BY:	E.J.N.
PROJECT NO.:	4972
DATE FILED:	08/19/2024
FILED BY:	08/19/2024
DRAWING NO.:	C01.1
SHEET:	01 of 10

APPLICANT  
1414 BIRCHRUN ROAD LLC  
PO BOX 408  
CHESTER SPRINGS PA 19435  
BOBBY@studio-ard.com

COMMONWEALTH OF PENNSYLVANIA COUNTY OF CHESTER

ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_ A.D. BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC OF THE COMMONWEALTH OF PENNSYLVANIA, RESIDING IN \_\_\_\_\_ PERSONALLY APPEARED \_\_\_\_\_ WHO ACKNOWLEDGES \_\_\_\_\_ SELF TO BE THE \_\_\_\_\_ OF \_\_\_\_\_ AND THAT AS SUCH TO DO SO, \_\_\_\_\_ EXECUTED THE FOREGOING PLAN BY SIGNING THE NAME OF THE SAID \_\_\_\_\_ AS \_\_\_\_\_ THAT THE SAID \_\_\_\_\_ IS THE OWNER OF THE DESIGNATED LAND, IS ENDORSED THEREON AND THAT THE SAID \_\_\_\_\_ DESIRES THAT THE FOREGOING PLAN MAY BE DULY RECORDED.

NOTARY PUBLIC  
MY COMMISSION EXPIRES: \_\_\_\_\_

REVIEWED BY THE PLANNING COMMISSION OF WEST VINCENT TOWNSHIP, CHESTER COUNTY, PENNSYLVANIA, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_

CHAIRPERSON \_\_\_\_\_  
MEMBER \_\_\_\_\_  
MEMBER \_\_\_\_\_

APPROVAL CERTIFICATE BY THE BOARD OF SUPERVISORS  
APPROVED BY RESOLUTION OF THE BOARD OF SUPERVISORS OF WEST VINCENT TOWNSHIP THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_

CHAIRPERSON \_\_\_\_\_  
MEMBER \_\_\_\_\_  
MEMBER \_\_\_\_\_

REVIEWED BY THE WEST VINCENT TOWNSHIP ENGINEER THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_  
TOWNSHIP ENGINEER \_\_\_\_\_

REVIEWED BY THE CHESTER COUNTY PLANNING COMMISSION THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_

RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF CHESTER COUNTY AT WEST CHESTER, PENNSYLVANIA, IN PLAN BOOK \_\_\_\_\_ PAGE \_\_\_\_\_ ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_

(DEPUTY) RECORDER OF DEEDS \_\_\_\_\_

CERTIFICATE OF ACCURACY - SURVEY  
I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, ALL SURVEY BOUNDARY INFORMATION AND COMPUTATIONS SHOWN AND DESCRIBED HEREON ARE TRUE AND CORRECT TO THE ACCURACY REQUIRED BY THE WEST VINCENT TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE.

NAME \_\_\_\_\_ LICENSE NO. \_\_\_\_\_

CERTIFICATE OF CONFORMANCE - P.E.  
I, JUSTIN W. BREWER, P.E., ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2024, HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE THAT THE SWM SITE PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF THE WEST VINCENT TOWNSHIP ENGINEERING, ZONING, BUILDING, STOPSMOKER, AND OTHER APPLICABLE TOWNSHIP ORDINANCES AND REGULATIONS.

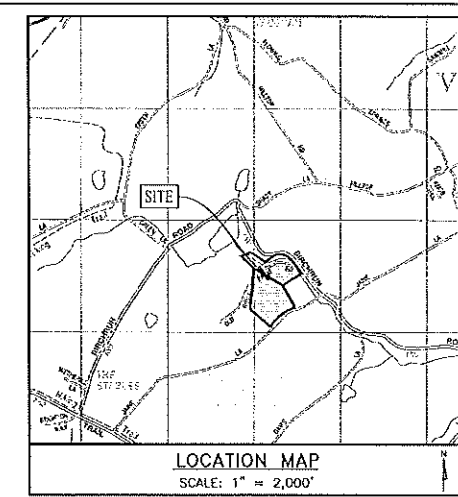
JUSTIN W. BREWER, P.E. 065115 DATE \_\_\_\_\_

MUNICIPALITY STATEMENT  
ON BEHALF OF WEST VINCENT TOWNSHIP, \_\_\_\_\_, ON THIS DATE \_\_\_\_\_ HAS REVIEWED AND HEREBY CERTIFIES TO THE BEST OF MY KNOWLEDGE THAT THE SWM SITE PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF THE MUNICIPAL ORDINANCE WEST VINCENT CODE CHAPTER 302 STORMWATER MANAGEMENT GRADING AND EROSION CONTROL.

MUNICIPAL OFFICIAL OR DESIGNEE \_\_\_\_\_

APPLICANT STATEMENT  
I, \_\_\_\_\_ ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2024, HEREBY ACKNOWLEDGE THAT ANY REVISION TO THE APPROVED SWM SITE PLAN SHALL BE SUBMITTED TO AND APPROVED BY THE MUNICIPALITY, AND THAT A REVISED EROSION AND SEDIMENT CONTROL PLAN SHALL BE SUBMITTED TO, AND APPROVED BY, THE CONSERVATION DISTRICT OR MUNICIPALITY (AS APPLICABLE) FOR A DETERMINATION OF ADEQUACY PRIOR TO CONSTRUCTION OF THE REVISED FEATURES.

APPLICANT SIGNATURE \_\_\_\_\_



**HOWELL**  
ENGINEERING  
Local Knowledge. Engineered.

City Engineering | Land Planning | Environmental  
1350 Wiggins Lane, West Chester, PA 19380  
Phone: (610) 918-9000 Fax: (610) 918-9003

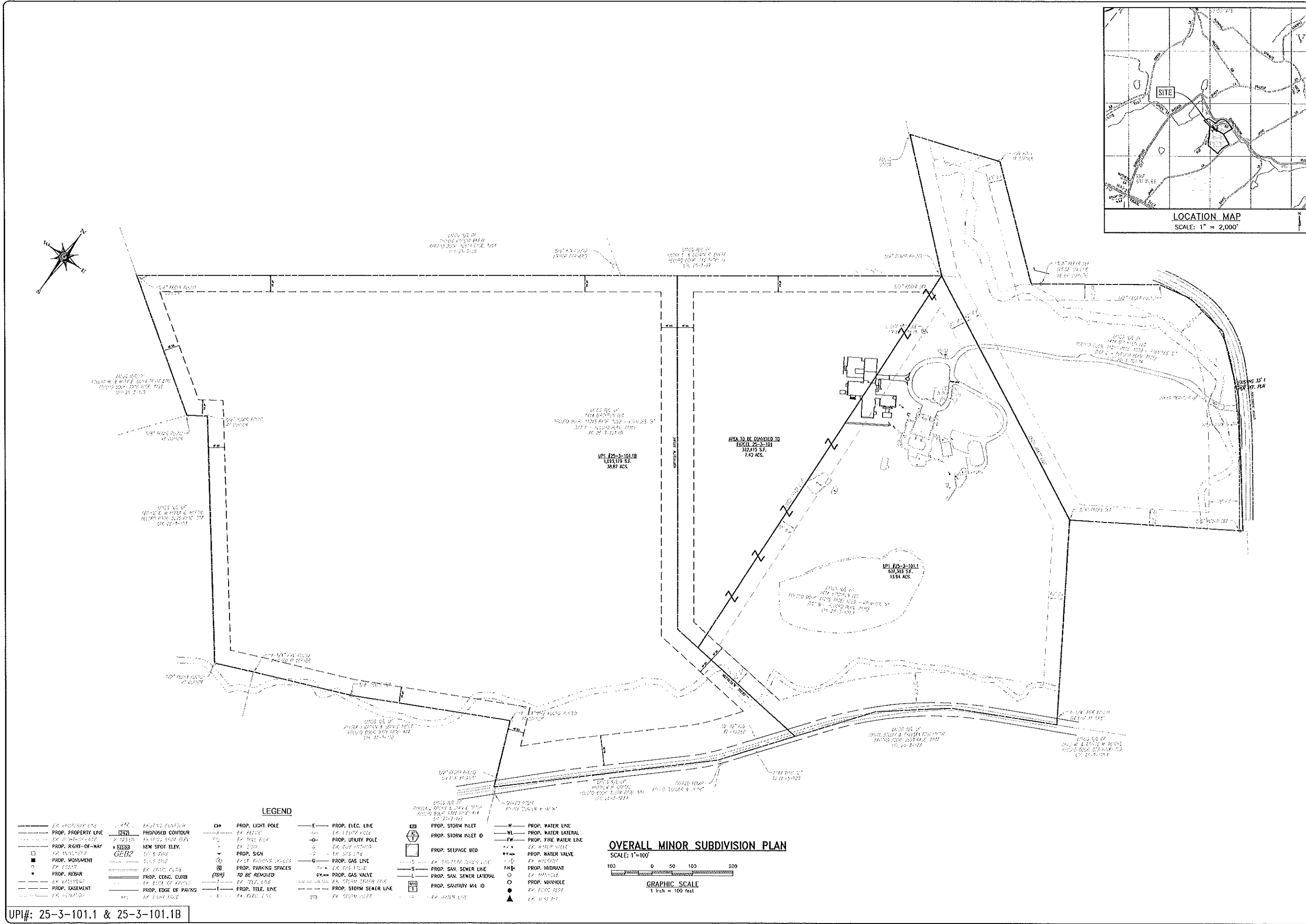


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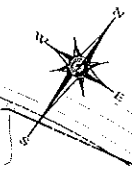
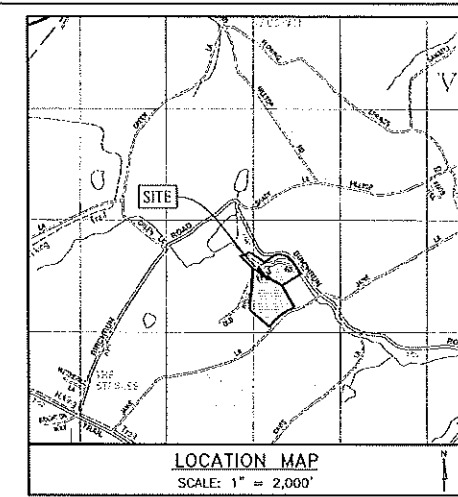
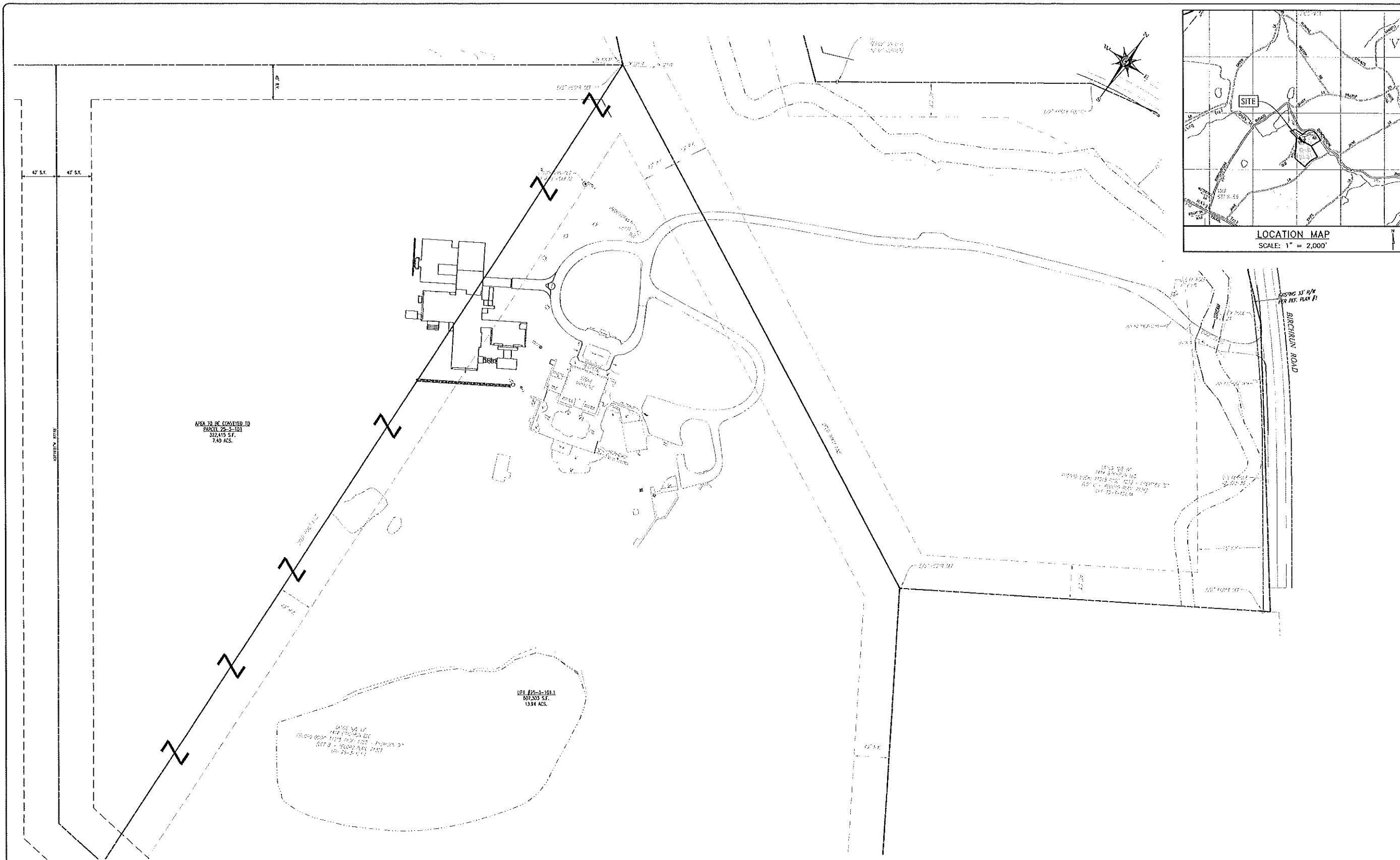
**PRELIMINARY OVERALL MINOR SUBDIVISION PLAN**

CLIENT: 1414 BIRCHRUN ROAD LLC  
PROJECT: 1414 BIRCHRUN RANCH  
LOCATION: 1414 BIRCHRUN ROAD  
WEST VINCENT TOWNSHIP, CHESTER COUNTY, PA

DATE	09/19/2024
SCALE	1"=100'
DRAWN BY	FSM
CHECKED BY	EJN
PROJECT NO.	4972
CAD FILE	DE SUBDIVISION PLAN.dwg
PLOTTED	09/19/2024
DRAWING NO.	C01.2
SHEET	02 of 10

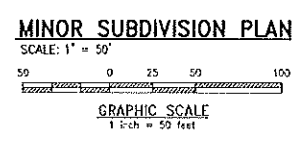


UPI#: 25-3-101.1 & 25-3-101.1B



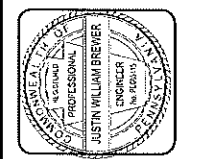
**LEGEND**

<ul style="list-style-type: none"> <li>--- EX. PROPERTY LINE</li> <li>--- PROP. PROPERTY LINE</li> <li>--- EX. RIGHT-OF-WAY</li> <li>--- PROP. RIGHT-OF-WAY</li> <li>--- EX. MONUMENT</li> <li>--- PROP. MONUMENT</li> <li>--- EX. REBAR</li> <li>--- PROP. REBAR</li> <li>--- EX. EASEMENT</li> <li>--- PROP. EASEMENT</li> <li>--- EX. SURFACE</li> </ul>	<ul style="list-style-type: none"> <li>--- EX. ROAD CENTER</li> <li>--- PROP. PROPOSED CONTOUR</li> <li>--- EX. ELEV. FROM ELEV.</li> <li>--- NEW SPOT ELEV.</li> <li>--- EX. CURB</li> <li>--- PROP. CONC. CURB</li> <li>--- EX. EDGE OF PARKING</li> <li>--- PROP. EDGE OF PARKING</li> <li>--- EX. EASEMENT</li> <li>--- PROP. EASEMENT</li> </ul>	<ul style="list-style-type: none"> <li>--- PROP. LIGHT POLE</li> <li>--- EX. MAIL BOX</li> <li>--- PROP. SIGN</li> <li>--- EX. EXIST. PARKING SPACES</li> <li>--- PROP. PARKING SPACES TO BE REMOVED</li> <li>--- EX. TELE. LINE</li> <li>--- PROP. TELE. LINE</li> <li>--- EX. FIRE LINE</li> <li>--- PROP. FIRE LINE</li> </ul>	<ul style="list-style-type: none"> <li>--- PROP. ELEC. LINE</li> <li>--- EX. LEASED ELEC. LINE</li> <li>--- PROP. UTILITY POLE</li> <li>--- EX. GAS LINE</li> <li>--- PROP. GAS LINE</li> <li>--- EX. GAS VALVE</li> <li>--- PROP. GAS VALVE</li> <li>--- EX. STORM SEWER LINE</li> <li>--- PROP. STORM SEWER LINE</li> <li>--- EX. STORM INLET</li> <li>--- PROP. STORM INLET</li> </ul>	<ul style="list-style-type: none"> <li>--- PROP. STORM INLET</li> <li>--- PROP. STORM INLET ID</li> <li>--- PROP. SEEPAGE BED</li> <li>--- EX. SANITARY SEWER LINE</li> <li>--- PROP. SAN. SEWER LINE</li> <li>--- PROP. SAN. SEWER LATERAL</li> <li>--- PROP. SANITARY MANHOLE</li> <li>--- EX. WATER LINE</li> <li>--- PROP. WATER LINE</li> <li>--- PROP. WATER LATERAL</li> <li>--- PROP. FIRE WATER LINE</li> <li>--- EX. WATER VALVE</li> <li>--- PROP. WATER VALVE</li> <li>--- EX. HYDRANT</li> <li>--- PROP. HYDRANT</li> <li>--- EX. WASHHOLE</li> <li>--- PROP. WASHHOLE</li> <li>--- EX. TEST PIT</li> <li>--- PROP. TEST PIT</li> </ul>
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UPI#: 25-3-101.1 & 25-3-101.1B

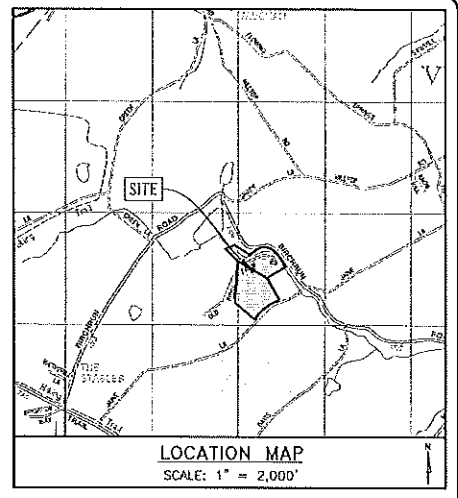
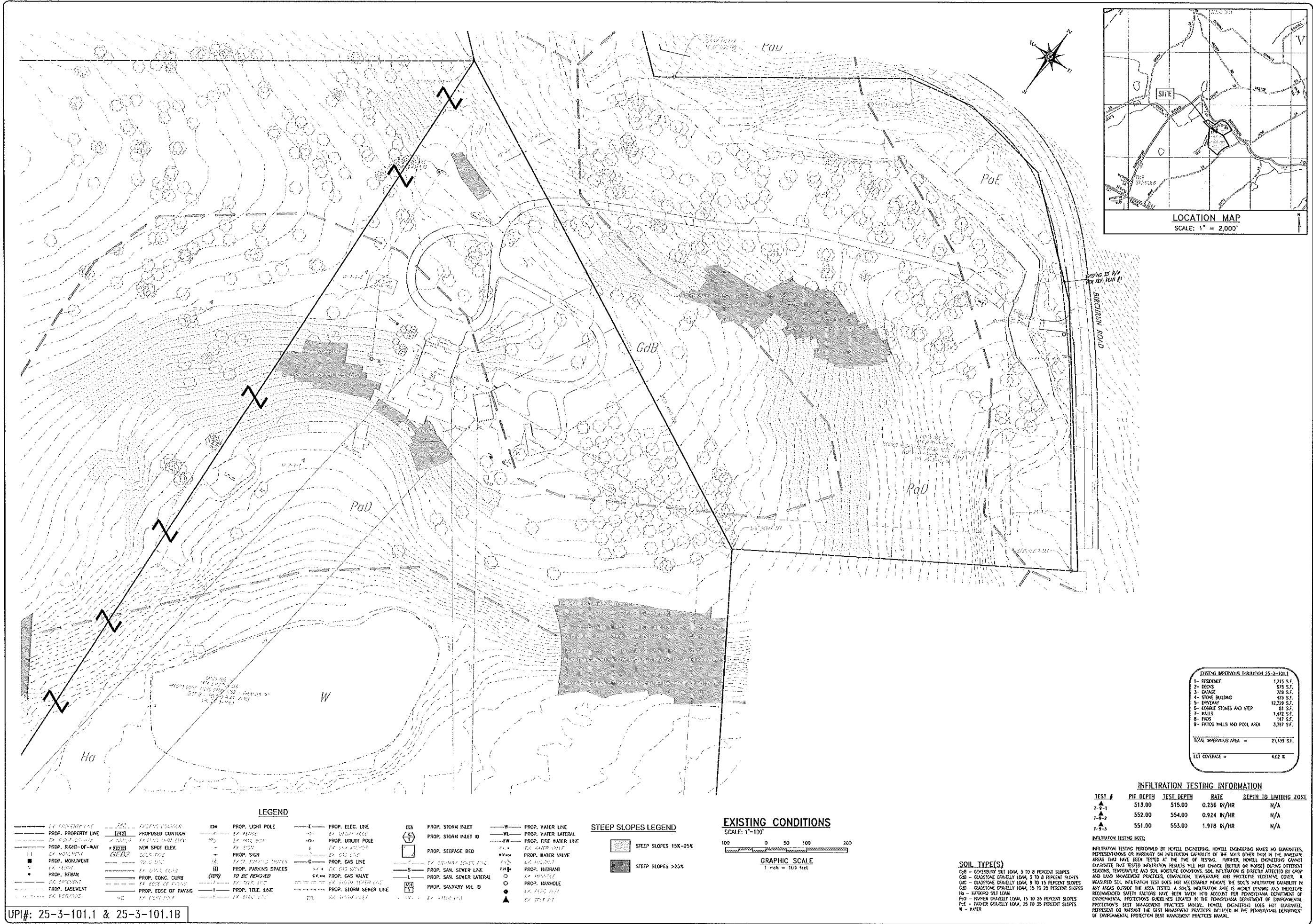
**HOWELL**  
ENGINEERING  
Local Knowledge. Engineered.  
Civil Engineering | Land Planning | Environmental  
1250 Wiggins Lane, West Chester, PA 19380  
Phone: (610) 918-9000 Fax: (610) 918-9003



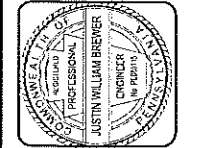
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**PRELIMINARY**  
**MINOR SUBDIVISION PLAN**  
CLDR: 1414 BIRCHRUN ROAD LLC  
PROJECT: 1414 BIRCHRUN RANCH  
LOCATION: 1414 BIRCHRUN ROAD  
WEST VINCENT TOWNSHIP, CHESTER COUNTY, PA

DATE:	08/19/2024
SCALE:	1"=50'
DRAWN BY:	FSH
CHECKED BY:	EIN
PROJECT NO.:	4972
CAD FILE:	EE-SUBDIVISION PLAN.dwg
PLOTTED:	08/19/2024
DRAWING NO.:	C01.3
SHEET:	03 of 10



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ENGINEERING  
Local Knowhow. Engineered.



NO.	DATE	DESCRIPTION
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**EXISTING STRUCTURES**

NO.	DESCRIPTION	AREA (S.F.)
1	RESIDENCE	1,715 S.F.
2	DECKS	975 S.F.
3	GARAGE	729 S.F.
4	STONE BUILDING	475 S.F.
5	POREXAF	12,339 S.F.
6	CONCRETE STONES AND STEP	81 S.F.
7	WALLS	1,472 S.F.
8	PAVS	147 S.F.
9	PAVS WALLS AND POOL AREA	3,397 S.F.
<b>TOTAL IMPERVIOUS AREA =</b>		<b>21,458 S.F.</b>
<b>LOT COVERAGE =</b>		<b>612 %</b>

**INFILTRATION TESTING INFORMATION**

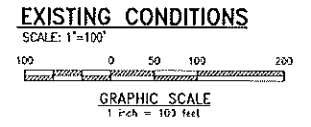
TEST #	PIH DEPTH	TEST DEPTH	RATE	DEPTH TO LIMITING ZONE
7-9-1	513.00	515.00	0.256 in/hr	N/A
7-9-2	552.00	554.00	0.924 in/hr	N/A
7-9-3	551.00	553.00	1.978 in/hr	N/A

**LEGEND**

--- CC CONTINGENT LINE	--- PROPOSED CONTOUR	--- PROP. LIGHT POLE	--- PROP. ELEC. LINE	--- PROP. STORM INLET	--- PROP. WATER LINE
--- PROP. PROPERTY LINE	--- PROPOSED CONTOUR	--- EX. FENCE	--- EX. UTILITY POLE	--- PROP. STORM INLET ID	--- WL
--- EX. RIGHT-OF-WAY	--- NEW SPOT ELEV.	--- EX. SIGN	--- EX. GAS LINE	--- EX. SEWER LATERAL	--- FW
--- EX. MONUMENT	--- SOIL TYPE	--- EX. SIGN	--- EX. GAS VALVE	--- EX. SAN. SEWER LATERAL	--- FW
--- PROP. MONUMENT	--- SOIL TYPE	--- EX. SIGN	--- EX. GAS VALVE	--- PROP. SAN. SEWER LATERAL	--- FW
--- PROP. FENCE	--- SOIL TYPE	--- EX. SIGN	--- EX. GAS VALVE	--- PROP. SANITARY MANHOLE	--- FW
--- EX. SEWER	--- SOIL TYPE	--- EX. SIGN	--- EX. GAS VALVE	--- EX. SANITARY MANHOLE	--- FW
--- PROP. EASEMENT	--- SOIL TYPE	--- EX. SIGN	--- EX. GAS VALVE	--- EX. SANITARY MANHOLE	--- FW
--- EX. EASEMENT	--- SOIL TYPE	--- EX. SIGN	--- EX. GAS VALVE	--- EX. SANITARY MANHOLE	--- FW

**STEEP SLOPES LEGEND**

--- PROP. STORM INLET	--- PROP. WATER LINE	--- STEEP SLOPES 15% - 25%
--- PROP. STORM INLET ID	--- PROP. WATER LATERAL	--- STEEP SLOPES > 25%
--- PROP. SEEPAGE BED	--- PROP. FIRE WATER LINE	
--- EX. SEWER LATERAL	--- PROP. WATER VALVE	
--- PROP. SAN. SEWER LINE	--- EX. HYDRANT	
--- PROP. SAN. SEWER LATERAL	--- PROP. HYDRANT	
--- PROP. SANITARY MANHOLE	--- EX. MANHOLE	
--- EX. SANITARY MANHOLE	--- EX. MANHOLE	



**SOIL TYPE(S)**

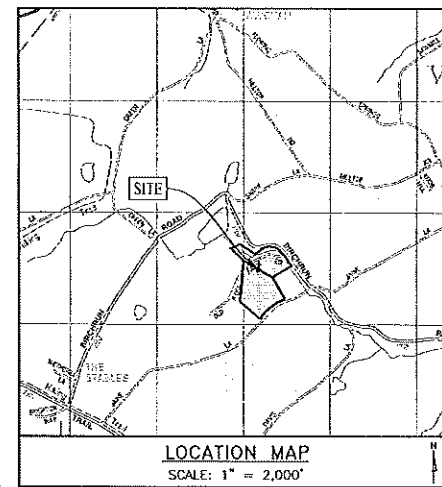
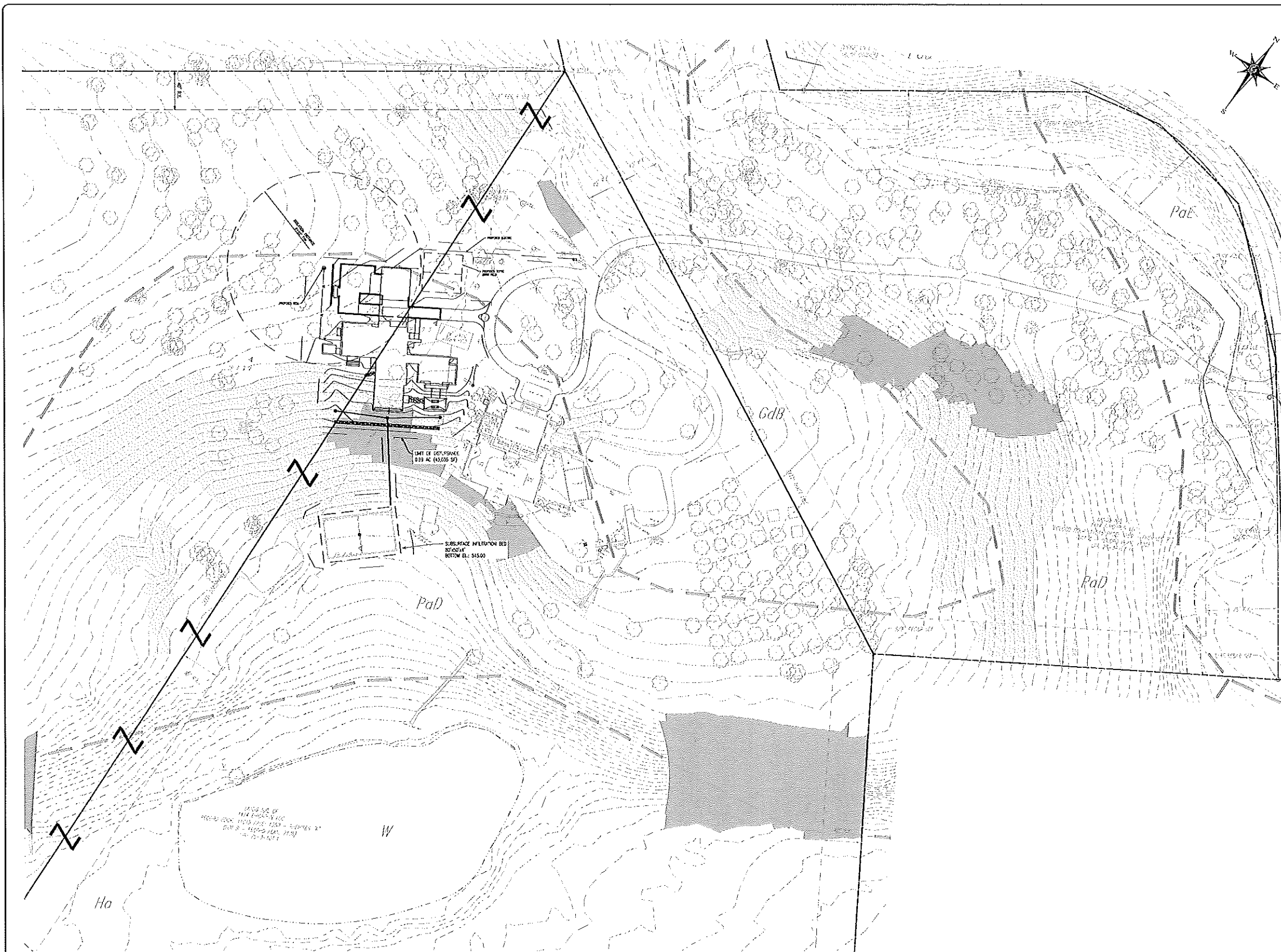
GdB - CONCRETE SLT LOAM, 3 TO 8 PERCENT SLOPES  
 GdB - QUARTZITE GRAVELLY LOAM, 3 TO 8 PERCENT SLOPES  
 GdB - QUARTZITE GRAVELLY LOAM, 8 TO 15 PERCENT SLOPES  
 GdB - QUARTZITE GRAVELLY LOAM, 15 TO 25 PERCENT SLOPES  
 Ha - HATFIELD SLT LOAM  
 PaD - PLYMOUTH GRAVELLY LOAM, 15 TO 25 PERCENT SLOPES  
 PaE - PLYMOUTH GRAVELLY LOAM, 25 TO 35 PERCENT SLOPES  
 W - WATER

UPI#: 25-3-101.1 & 25-3-101.1B

**PRELIMINARY EXISTING CONDITIONS**

CLIENT: 1414 BIRCHRUN ROAD LLC  
 PROJECT: 1414 BIRCHRUN RANCH  
 LOCATION: 1414 BIRCHRUN ROAD, WEST VINCENT TOWNSHIP, CHESTER COUNTY, PA

DATE: 08/19/2024  
 SCALE: 1"=50'  
 DRAWN BY: PSM  
 CHECKED BY: ELN  
 PROJECT NO.: 4972  
 DATE: 08/19/2024  
 DRAWING NO.: C02.1  
 SHEET: 04 of 10



**HOWELL ENGINEERING**  
Local Knowhow. Engineered.  
Civil Engineering | Land Planning | Environmental  
1250 Wrights Lane, West Chester, PA 19380  
Phone: (610) 918-9002 Fax: (610) 918-8103



NO.	DATE	DESCRIPTION
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1		

**LEGEND**

EX. PROPERTY LINE	PROPOSED CONTOUR	PROP. LIGHT POLE	PROP. ELEC. LINE	PROP. STORM INLET	PROP. WATER LINE
EX. RIGHT-OF-WAY	NEW SPOT ELEV.	EX. MHL 8/4	PROP. UTILITY POLE	PROP. STORM INLET ID	PROP. WATER LATERAL
EX. MONUMENT	EX. CONC. CURB	EX. SIGN	EX. GAS LINE	PROP. SEEPAGE BED	PROP. FIRE WATER LINE
EX. REBAR	PROP. CONC. CURB	PROP. PARKING SPACES TO BE REMOVED	EX. GAS VALVE	EX. SYSTEM SEWER LINE	EX. WATER VALVE
EX. EASEMENT	PROP. EDGE OF PARKING	PROP. TELE. LINE	PROP. STORM SEWER LINE	PROP. SAN. SEWER LINE	EX. HYDRANT
EX. EASEMENT	EX. LOT LINE	EX. ELEC. WIRE	EX. STORM INLET	PROP. SAN. SEWER LATERAL	PROP. WASHOLE
			EX. STORM INLET	PROP. SANITARY M.I. ID	EX. WASHOLE
				EX. WATER LINE	EX. WASHOLE

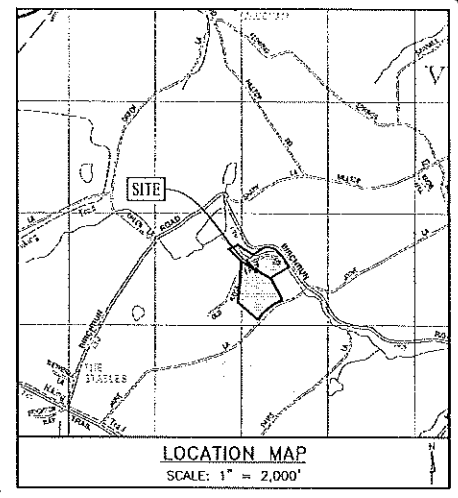
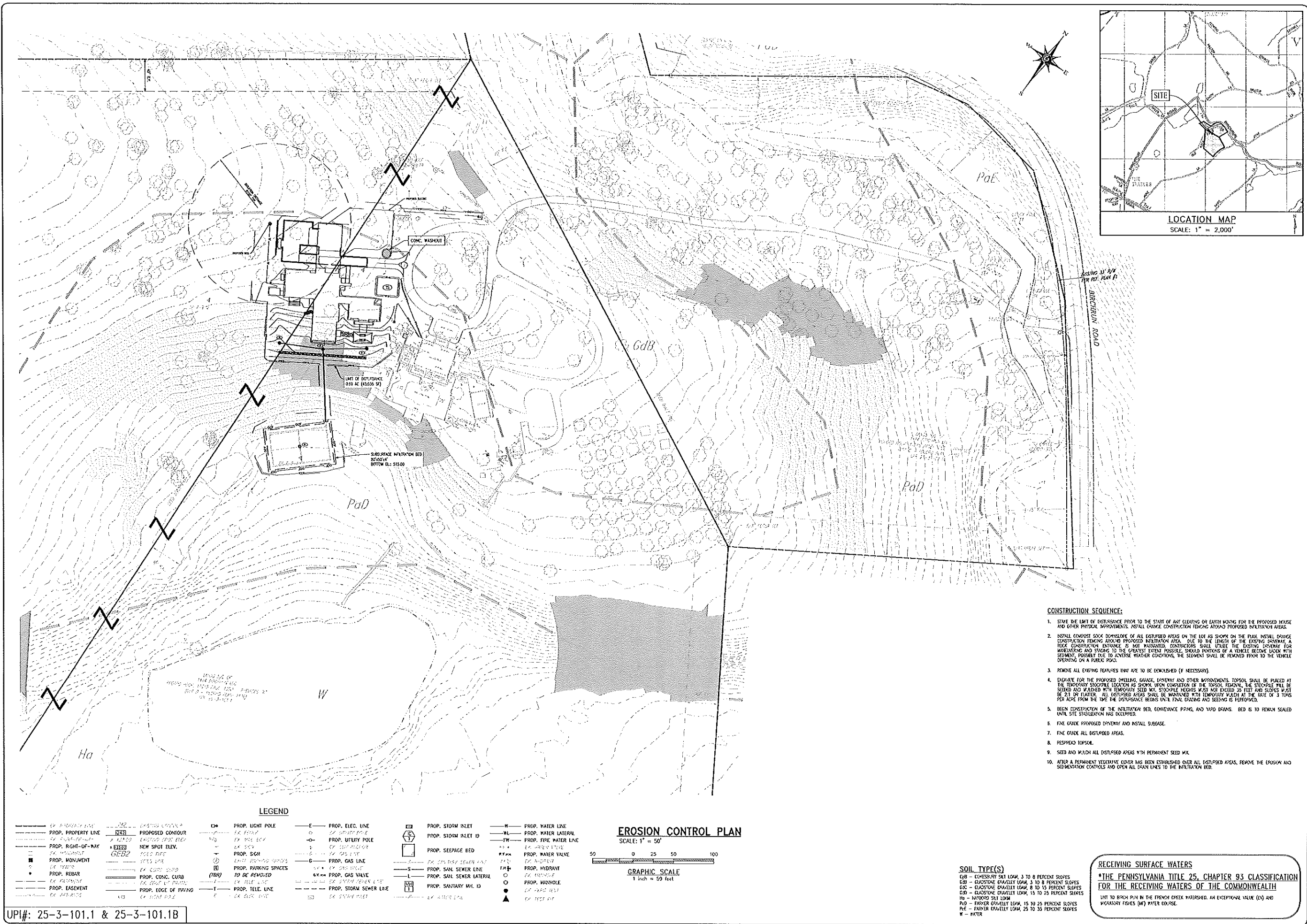
**GRADING & UTILITIES PLAN**  
SCALE: 1" = 50'  
GRAPHIC SCALE  
1 inch = 50 feet

**ACCESS EASEMENT NOTE**  
THE MUNICIPALITY HAS THE RIGHT, BUT NOT THE DUTY, TO ACCESS EVERY BMP AND COVENANCE FROM A PUBLIC RIGHT-OF-WAY OR PUBLIC ROADWAY TO CONDUCT PERIODIC INSPECTIONS AND TO UNDERTAKE OTHER ACTIONS THAT MAY BE NECESSARY TO ENFORCE THE REQUIREMENTS OF THIS CHAPTER OR OF ANY APPLICABLE OWM PLAN OR OWM AGREEMENT, WHERE ROADWAYS WILL NOT BE DEDICATED TO THE MUNICIPALITY, THE MUNICIPALITY SHALL BE GRANTED ACCESS TO THE PRIVATE ROADWAYS AS NECESSARY TO ACCESS EVERY BMP AND COVENANCE.

UPI#: 25-3-101.1 & 25-3-101.1B

**PRELIMINARY GRADING & UTILITIES PLAN**  
DATE: 08/19/2024  
SCALE: 1"=50'  
DRAWN BY: PSM  
CHECKED BY: ERM  
PROJECT NO.: 4972  
SHEET NO.: 03 OF 04  
DRAWING NO.: C03.1

**DATE:** 08/19/2024  
**SCALE:** 1"=50'  
**DRAWN BY:** PSM  
**CHECKED BY:** ERM  
**PROJECT NO.:** 4972  
**SHEET NO.:** 03 OF 04  
**DRAWING NO.:** C03.1



- CONSTRUCTION SEQUENCE:**
1. STAKE THE LIMIT OF DISTURBANCE PRIOR TO THE START OF ANY CLEARING OR EARTH WORKING FOR THE PROPOSED HOUSE AND OTHER PHYSICAL IMPROVEMENTS. INSTALL CHAINNE CONSTRUCTION FENCING AROUND PROPOSED INFILTRATION AREAS.
  2. INSTALL CONTOUR SOCK DOWN SLOPE OF ALL DISTURBED AREAS ON THE LOT AS SHOWN ON THE PLAN. INSTALL CHAINNE CONSTRUCTION FENCING AROUND PROPOSED INFILTRATION AREA. DUE TO THE LENGTH OF THE EXISTING DRIVEWAY, A ROCK CONSTRUCTION ENTRANCE IS HIGHLY WARRANTED. CONSTRUCTORS SHALL UTILIZE THE EXISTING DRIVEWAY FOR UNLOADING AND STAGING TO THE GREATEST EXTENT POSSIBLE. SHOULD PORTIONS OF A VEHICLE BECOME LOADED WITH SEDIMENT, POSSIBLY DUE TO ADVERSE WEATHER CONDITIONS, THE SEDIMENT SHALL BE REMOVED PRIOR TO THE VEHICLE OPERATING ON A PUBLIC ROAD.
  3. REMOVE ALL EXISTING FEATURES THAT ARE TO BE DEMOLISHED (IF NECESSARY).
  4. EXCAVATE FOR THE PROPOSED DRILLING, GARAGE, DRIVEWAY AND OTHER IMPROVEMENTS. TOPSOIL SHALL BE PLACED AT THE TEMPORARY STOCKPILE LOCATION AS SHOWN UPON COMPLETION OF THE TOPSOIL REMOVAL. THE STOCKPILE WILL BE SEEDED AND MULCHED WITH TEMPORARY SEED MIX. STOCKPILE HEIGHTS MUST NOT EXCEED 30 FEET AND SLOPES MUST BE 2:1 OR FLATTER. ALL DISTURBED AREAS SHALL BE MAINTAINED WITH TEMPORARY WEED AT THE RATE OF 3 TONS PER ACRE FROM THE TIME THE DISTURBANCE BEGINS UNTIL FINAL GRADING AND SEEDING IS REPLETED.
  5. BEGIN CONSTRUCTION OF THE INFILTRATION BED, CONDUIT PIPING, AND WOOD DECKS. BED IS TO REMAIN SEALED UNTIL SITE STABILIZATION HAS OCCURRED.
  6. FINE GRADE PROPOSED DRIVEWAY AND INSTALL SUBBASE.
  7. FINE GRADE ALL DISTURBED AREAS.
  8. RESEED TOPSOIL.
  9. SEED AND MULCH ALL DISTURBED AREAS WITH PERMANENT SEED MIX.
  10. AFTER A PERMANENT VEGETATIVE COVER HAS BEEN ESTABLISHED OVER ALL DISTURBED AREAS, REMOVE THE EROSION AND SEDIMENTATION CONTROLS AND OPEN ALL DRAIN LINES TO THE INFILTRATION BED.

**SOIL TYPE(S)**

GdB - COARSE-SAND LOAM, 3 TO 8 PERCENT SLOPES  
 GdC - CLAYSTONE GRAVELLY LOAM, 3 TO 8 PERCENT SLOPES  
 GdD - CLAYSTONE GRAVELLY LOAM, 8 TO 15 PERCENT SLOPES  
 GdE - CLAYSTONE GRAVELLY LOAM, 15 TO 25 PERCENT SLOPES  
 Ha - SANDY SLOPE LOAM  
 PaE - FAIRER GRAVELLY LOAM, 15 TO 25 PERCENT SLOPES  
 PaD - FAIRER GRAVELLY LOAM, 25 TO 35 PERCENT SLOPES  
 W - WATER

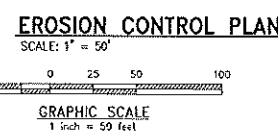
**RECEIVING SURFACE WATERS**

**\*THE PENNSYLVANIA TITLE 25, CHAPTER 93 CLASSIFICATION FOR THE RECEIVING WATERS OF THE COMMONWEALTH**

LOT TO BE BORN RUN IN THE FRENCH CREEK WATERSHED. AN ENOUGH VALUE (EV) AND WATERSHED NUMBER (WN) WATER COURSE.

**LEGEND**

—	EX. PROPERTY LINE	—	EX. CONTOUR	—	EX. LIGHT POLE	—	EX. PROP. ELEC. LINE	—	EX. PROP. WATER LINE
—	PROP. PROPERTY LINE	—	PROP. CONTOUR	—	EX. PROP. ELEC. LINE	—	EX. PROP. UTILITY POLE	—	EX. PROP. WATER LATERAL
—	EX. RIGHT-OF-WAY	—	NEW SPOT ELEV.	—	EX. PROP. SGN	—	EX. PROP. GAS LINE	—	EX. PROP. FIRE WATER LINE
—	EX. MONUMENT	—	EX. CONC. CURB	—	EX. PROP. PARKING SPACES TO BE REMOVED	—	EX. PROP. GAS VALVE	—	EX. PROP. WATER VALVE
—	EX. REBAR	—	PROP. EDGE OF DRIVE	—	EX. PROP. TELE. LINE	—	EX. PROP. SAN. SEWER LINE	—	EX. PROP. HYDRANT
—	EX. EASEMENT	—	EX. LIMIT LINE	—	EX. PROP. SAN. SEWER LATERAL	—	EX. PROP. SANITARY MH. ID	—	EX. PROP. MANHOLE
—	EX. FENCE	—	EX. LIMIT LINE	—	EX. PROP. STORM SEWER LINE	—	EX. PROP. STORM SEWER LATERAL	—	EX. PROP. WASHHOLE
—	EX. FENCE	—	EX. LIMIT LINE	—	EX. PROP. STORM SEWER LATERAL	—	EX. PROP. STORM SEWER LATERAL	—	EX. PROP. WASHHOLE



UPI#: 25-3-101.1 & 25-3-101.1B

**HOWELL ENGINEERING**  
 Local Knowhow. Engineered.



NO.	DATE	DESCRIPTION
1		
2		
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4		
5		
6		
7		
8		

**PRELIMINARY EROSION CONTROL PLAN**

CLIENT: 1414 BIRCHRUN ROAD LLC  
 PROJECT: 1414 BIRCHRUN RANCH  
 LOCATION: 1414 BIRCHRUN ROAD  
 WEST VINCENT TOWNSHIP, CHESTER COUNTY, PA

DATE:	08/19/2024
SCALE:	1"=50'
DRAWN BY:	PSM
CHECKED BY:	EJN
PROJECT NO.:	4972
CAD FILE:	00 BIRCH RUN CONTRL PLAN.dwg
PLOTTED:	08/19/2024
TRACER NO.:	C03.2
SHEET:	06 of 10

EROSION AND SEDIMENTATION CONTROL NARRATIVE

THE PURPOSE OF THIS NARRATIVE AND THE EROSION CONTROL ASPECTS OF THE PLANS ARE TO PREVENT THE ACCELERATED EROSION OF EXPOSED SOIL SURFACES DURING CONSTRUCTION AND TO RETURN ON SITE ALL SEDIMENT PRODUCED BY CONSTRUCTION ACTIVITIES...

EROSION AND SEDIMENTATION CONTROL NOTES:

- 1. THE PERMITTEE(S) SHALL BE RESPONSIBLE FOR THE PROPER CONSTRUCTION, STABILIZATION AND MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROLS AND RELATED ITEMS INCLUDED WITHIN THESE PLANS UNTIL THE SITE IS PERMANENTLY STABILIZED.
2. AN AREA SHALL BE CONSIDERED TO HAVE ACHIEVED FINAL STABILIZATION WHEN IT HAS A MINIMUM UNIFORM 70% PERENNIAL VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A QUALITY SUFFICIENT TO RESIST ACCELERATED SURFACE EROSION...

MAINTENANCE DURING CONSTRUCTION:

- 1. AREAS THAT CONTAIN SOIL SHALL BE CHECKED VERY CAREFULLY TO ENSURE THAT JOINT BETWEEN THE SOIL STRIPS ARE TIGHT AND SEALS WHERE JOINT SEPARATION IS IN EVIDENCE, A CAREFUL INSPECTION OF EACH JOINT SHALL BE MADE TO DETERMINE WHETHER UNDERMINING OF THE STRIPS IS OCCURRING. IF IT IS, THE SOILS SHALL BE FILLED UP, THE SUBSTANCE SHALL BE FILLED AND GRADED AS REQUIRED, AND THE SOIL STRIPS SHALL BE RE-AD WITH TIGHT JOINTS AND PERDING.
2. SEEDING AREAS THAT HAVE WASHED AWAY SHALL BE FILLED AND GRADED AS NECESSARY AND THEN RESEEDING. A BUMPUP OR STORM CROWL WILL BE APPLIED TO REIN THE SEED UNTIL IT HAS HAD A CHANCE TO ROOT PROPERLY.

EROSION AND SEDIMENT POLLUTION CONTROL NOTES

- 1. ALL FILLS SHALL BE COMPACTED TO PROVIDE STABILITY OF MATERIAL AND TO PREVENT UNDESIRABLE SETTLEMENT. THE FILL SHALL BE SPREAD IN A SERIES OF LAYERS, NOT EXCEEDING 12 INCHES IN THICKNESS, AND ALL AREAS SHALL BE PROMPTLY SEEDDED AND MULCHED AND/OR SODDED OR OTHERWISE PROTECTED FROM EROSION IMMEDIATELY UPON COMPLETION OF THE GRADING OPERATION AND SHALL BE RESEED, TOPDRESS AND MAINTAINED UNTIL GROWTH IS WELL ESTABLISHED. PAVING BASE SHALL BE PLACED IMMEDIATELY TO PREVENT EROSION OF PROPOSED PAVED AREAS.
2. NO ONE SHALL DEPOSIT OR PLACE ANY DEBRIS OR OTHER MATERIAL IN ANY WATERCOURSE, DRAINAGE DITCH OR STRUCTURE IN SUCH A MANNER AS TO OBSTRUCT FREE FLOW. IN ADDITION, THE ENTRIES OF ALL WATERCOURSES MUST BE STABILIZED AND PROTECTED AGAINST FURTHER EROSION IN PROGRESS BY THE LANDOWNER.

SEED MIX SPECIFICATIONS

ALL SEED SHALL BE FRESH, NEW CROP SEED SHALL BE LABELED IN ACCORDANCE WITH THE FEDERAL SEED ACT IN EFFECT ON THE DATE OF INQUIRY FOR BIDS. ALL SEED SHALL BE FURNISHED IN SCALED STANDARD CONTAINERS, BEARING THE WARRANTY OF THE SUPPLIER AND CORRECTING AS TO THE PERCENT BY WEIGHT, PURITY AND GERMINATION. THE GRASS SEED SHALL CONTAIN THE PERCENTAGES OF VARIETIES AND SHALL BE OF THE QUALITY INDICATED BY THE PERCENTAGES OF PURITY AND GERMINATION INDICATED ON THE LIST FURNISHED WITH THE APPLICABLE PLAN. SEED MIX SHALL BE AS SPECIFIED, SPECIES AT THE RATE OF 4 LBS. PER 1000 SQ.FT. MINIMUM FOR SLOPES 3:1, IF GREATER, USE 5 LBS. PER 1000 SQ.FT.

PERMANENT SEEDING DATES: MARCH 1 TO JUNE 1, AND AUGUST 1 TO OCTOBER 1

Table with 4 columns: SPECIES, PAGES BY WEIGHT, %, PURITY, GERMINATION. Rows include Kentucky Blue Grass, Perennial Ryegrass, Annual Ryegrass, and Kentucky Bluegrass 500.

MIXTURE SHALL BE MAY WHICH IS FREE OF WEEDS AND SEEDS, NOT WOLLY OR ROTTEN AND SHALL BE APPLIED AT ALL OPTICAL SEEDING RATES AT A RATE OF 3 TONS PER ACRE.

KENTUCKY BLUEGRASS 500 (IF CALLED FOR) : SOO SHALL BE GROWN UNDER SUPERVISION OF THE BUREAU OF PLANT INDUSTRY PENNSYLVANIA DEPARTMENT OF AGRICULTURE OR SHALL BE COMPOSED OF ONLY BLUE AND CORPUS SEED.

TEMPORARY SEEDING DATE: ANYTIME.

TEMPORARY SEEDING: SHALL BE ANNUAL RYEGRASS AT 40 LBS. PER ACRE. SITE PREPARATION - APPLY 1 TON OF AGRICULTURAL-GRADE LIMESTONE PER ACRE PLUS FERTILIZER AT THE RATE OF 50-50-50 PER ACRE OF WORK IN WHOLE POSSIBLE. AFTER SEEDING, MULCH WITH HAY OR STRAW AT A RATE OF 3 TONS PER ACRE.

SHALL BE LIME, FERTILIZER, GRASS SEEDS, LEGUME SEEDS AND INOULANT MIXED WITH WATER AND APPLIED AS SLURRY, AT A RATE OF 1000 GALLONS PER ACRE.

LIMES : 15 TO 4000 LBS. LIMESTONE PER ACRE MIXED WITH 1000 GALLONS OF WATER PER ACRE.

FERTILIZER: AT RATE OF 50-100-100 PER ACRE.

INOULANT: USE 5 TIMES RATE RECOMMENDED ON THE PACKAGE WHEN SEEDING WITH A REDUCED RATE.

SEEDING AND MULCHING NOTES

- 1. ANY UNOBTAINED AREA ON WHICH ACTIVITY HAS CEASED AND WHICH WILL REMAIN EXPOSED FOR MORE THAN 20 DAYS MUST BE SEEDED AND MULCHED IMMEDIATELY. DURING NON-GERMINATING PERIODS, MULCH MUST BE APPLIED AT THE RECOMMENDED RATES.
2. MULCH, STRAW, STONE AND/OR SOO SHALL BE USED TO STABILIZE ALL SOILS MADE BARE DURING THE PERIOD FROM NOVEMBER 15TH TO APRIL 1ST WHEN PLOT-REPRODUCTION OF EXPOSED EXPOSURE SURFACE IS DETECTED.

- 3. DIMENSIONS, ORNAMENTALS, SEDIMENTATION BASINS, SEDIMENT TRAPS, AND STOODIPLES MUST BE SEEDED AND MULCHED IMMEDIATELY.
4. HAY OR STRAW MULCH MUST BE APPLIED AT A RATE OF AT LEAST 3.0 TONS PER ACRE.

ESTABLISH PERMANENT SEEDING AS SOON AS POSSIBLE AFTER FINAL GRADING IS COMPLETE. PERMANENT SEEDING SHALL BE 1/3N FERTILIZER PER ACRE, 50K POTASSIUM FERTILIZER 15% ANNUAL RYEGRASS AND 35K KENTUCKY BLUEGRASS APPLIED AT THE RATE OF 4.0 LBS. PER 1000 SQ. FT. MINIMUM FOR SLOPES 3:1, IF GREATER, USE 5.0 LBS. PER 1000 SQ. FT.

ANY TREES NOT SCHEDULED OR PERMITTED TO BE REMOVED, WHICH ARE PERMANENTLY DAMAGED DURING CONSTRUCTION AND ARE WITHIN 18 MONTHS OF THE COMPLETION OF CONSTRUCTION ACTIVITIES, SHALL BE REPLANTED.

- 2. THE MAXIMUM TIME OF EXPOSURE FOR BARE SOIL AREAS SHALL BE THIRTY (30) DAYS BEFORE STABILIZATION MEASURES ARE IMPLEMENTED.

- 3. GRADING AND EARTH MOVING OPERATIONS BETWEEN NOVEMBER 1 AND APRIL 15 SHALL BE MINIMIZED. MULCH, STONE, MULCH AND/OR SOO MUST BE UTILIZED TO STABILIZE ANY AREAS EXPOSED DURING THIS TIME PERIOD.

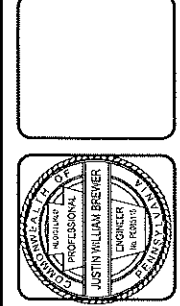
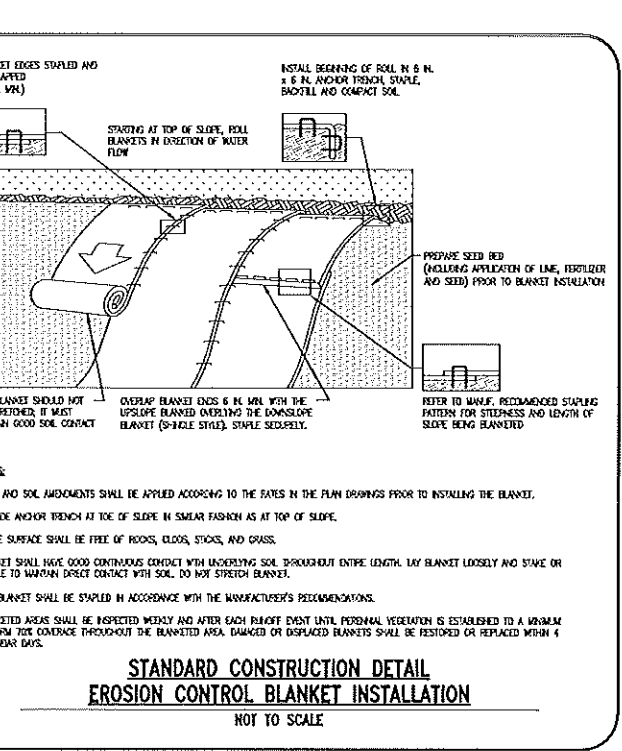
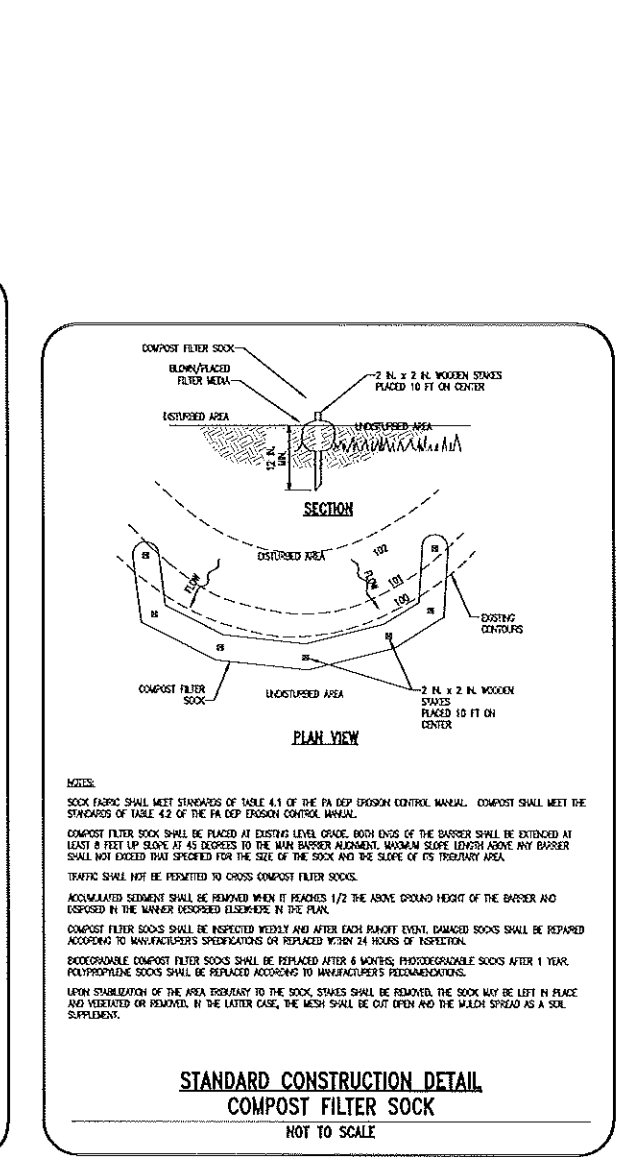
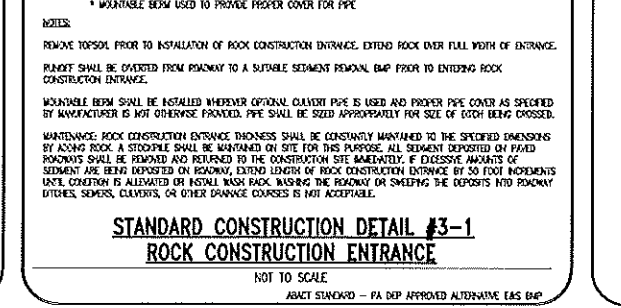
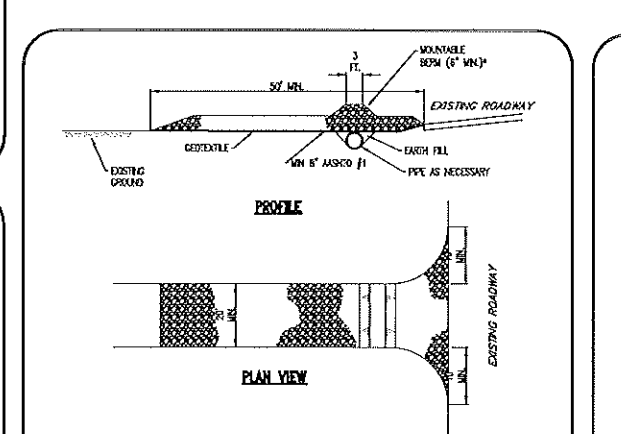
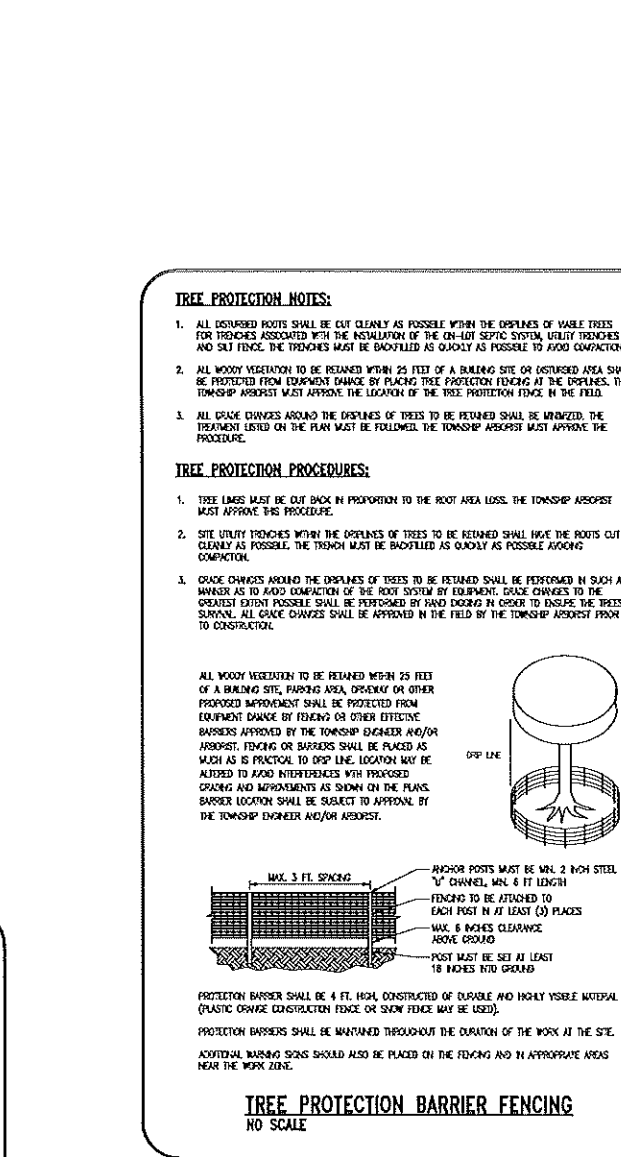
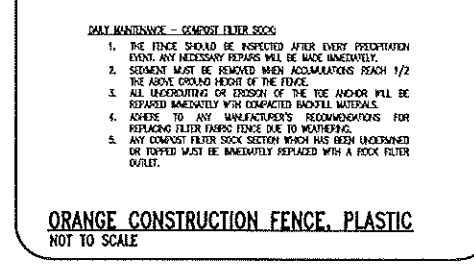
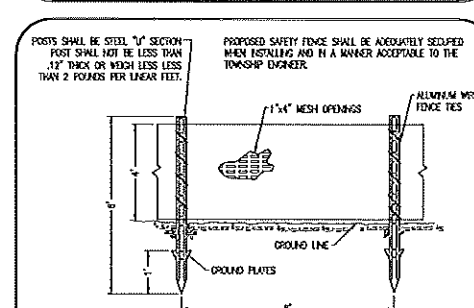
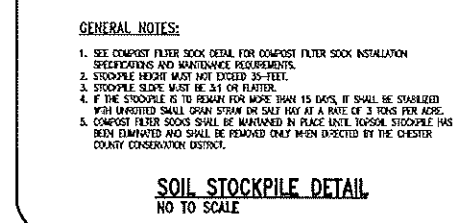
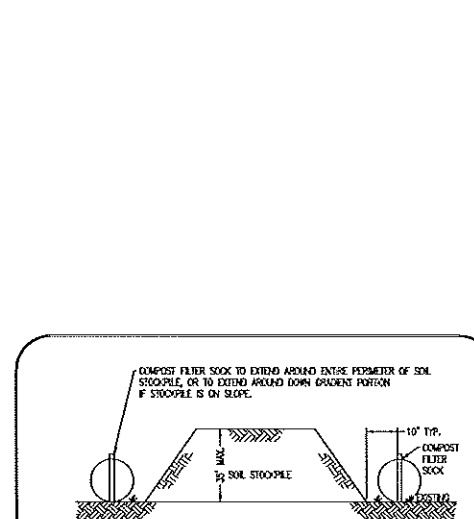
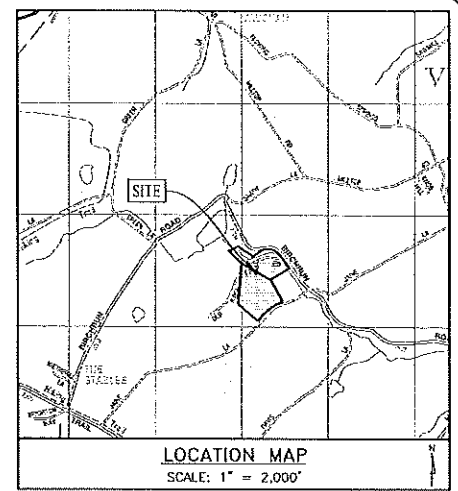
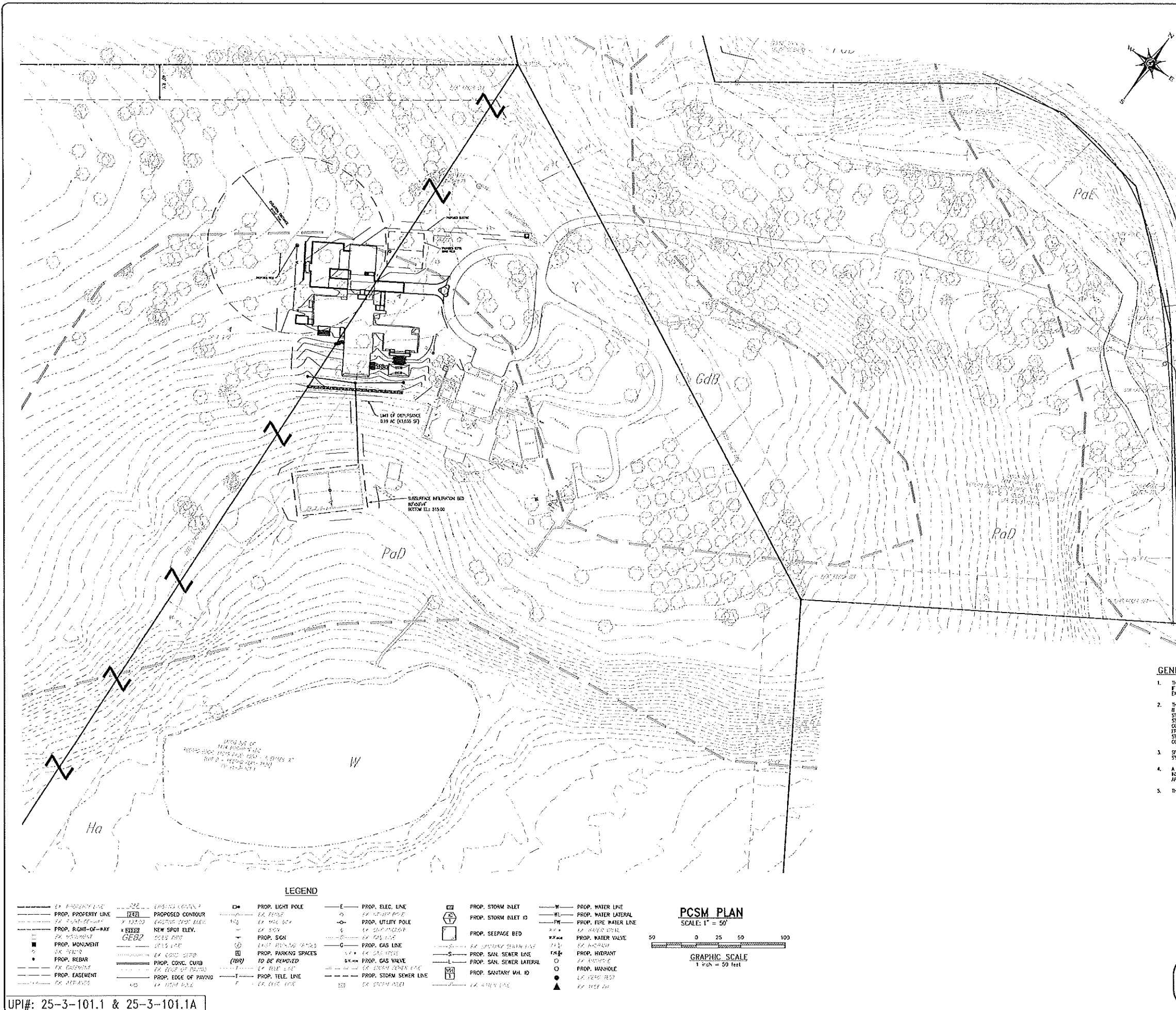


Table with 4 columns: NO., DATE, and blank space for notes or dates.

PRELIMINARY NOTES & DETAILS
PROJECT NO: 1414 BIRCHRUN ROAD LLC
PROJECT: 1414 BIRCHRUN RANCH
LOCATION: 1414 BIRCHRUN ROAD WEST VINCENT TOWNSHIP, CHESTER COUNTY, PA

DATE: 08/10/2024
SCALE: N.T.S.
DRAWN BY: PSN
CHECKED BY: E.J.N.
PROJECT NO: 4972
DRAWING NO: C03.3
SHEET: 07 OF 10



**D&M STATEMENT**  
 THE LANDOWNER ACKNOWLEDGES THAT, FOR THE PROVISIONS OF THE MUNICIPALITY'S STORMWATER MANAGEMENT ORDINANCE, IT IS UNLAWFUL TO MOODY, REMOVE, FILL, LANDSCAPE, ALTER, OR VIOLATE THE EFFECTIVENESS OF, OR PLACE ANY STRUCTURE, OTHER VEGETATION, SAND WASTE, SPILLS, OILS, OR OTHER WASTE OR DEEPS INTO ANY PERMANENT STORMWATER MANAGEMENT BMP OR CONFORMANCE DESCRIBED IN THIS O&M PLAN OR TO ALLOW THE BMP OR CONFORMANCE TO EXIST IN A CONDITION WHICH DOES NOT CONFORM TO THIS O&M PLAN WITHOUT WRITTEN APPROVAL FROM THE MUNICIPALITY.

LANDOWNER SIGNATURE \_\_\_\_\_

**HOWELL ENGINEERING**  
 Local Knowhow. Engineered.  
 Civil Engineering / Land Planning / Environmental  
 1250 Wright Lane, West Chester, PA 19380  
 Phone: (610) 948-3002 Fax: (610) 948-8003



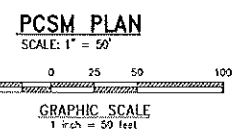
NO.	DATE	DESCRIPTION
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- GENERAL PCSM NOTES:**
1. THE INFILTRATION FACILITIES SHALL BE INSPECTED 22 HOURS FOLLOWING ALL RAIN EVENTS EXCEEDING 1" OF RAINFALL. IF STANDING WATER IS VISIBLE AT 24 HRS WITHIN ANY INFILTRATION FACILITY, THE INFILTRATION FACILITY MUST BE DCAUGHT AND RECONSTRUCTED TO OBTAIN AN INFILTRATION RATE APPROVED BY WEST VINCENT TOWNSHIP.
  2. THE LANDOWNER ACKNOWLEDGES THAT, FOR THE PROVISIONS OF THE TOWNSHIP'S STORMWATER MANAGEMENT ORDINANCE, IT IS UNLAWFUL TO MOODY, REMOVE, FILL, LANDSCAPE, ALTER, OR VIOLATE THE EFFECTIVENESS OF, OR PLACE ANY STRUCTURE, OTHER VEGETATION, SAND WASTE, BRUSH CUTTINGS, OR OTHER WASTE OR DEEPS INTO ANY PERMANENT STORMWATER MANAGEMENT BMP OR CONFORMANCE DESCRIBED IN THIS O&M PLAN OR TO ALLOW THE BMP OR CONFORMANCE TO EXIST IN A CONDITION WHICH DOES NOT CONFORM TO THIS O&M PLAN WITHOUT WRITTEN APPROVAL FROM THE TOWNSHIP. A STATEMENT, SIGNED BY THE APPLICANT, ACKNOWLEDGING THAT ANY REVISION TO THE APPROVED STORMWATER MANAGEMENT SITE PLAN MUST BE APPROVED BY THE MUNICIPALITY. A REISED EROSION AND SEDIMENT CONTROL PLAN MUST BE SUBMITTED TO THE CONSERVATION DISTRICT FOR A REEVALUATION OF NECESSITY.
  3. SITE CONTRACTOR SHALL PROVIDE PROTECTION FOR INFILTRATION BMPs UNTIL DRAINAGE AREA IS COMPLETELY STABILIZED.
  4. A RAINSET EASEMENT IS OBTAINED TO WEST VINCENT TOWNSHIP AND/OR ITS REPRESENTATIVES FOR ACCESS FOR INSPECTIONS AND MAINTENANCE. THE PRESERVATION OF STORMWATER RUNOFF CONFORMANCE, INFILTRATION AND DETENTION AREAS, AND FOR OTHER STORMWATER CONTROLS.
  5. THE DEVELOPER IS RESPONSIBLE FOR PROVIDING WEST VINCENT TOWNSHIP AS BUILT PLANS OF ALL SHM BMPs.

**STORMWATER MANAGEMENT NOTE**  
 FURNISH THE STORMWATER MANAGEMENT REPORT PREPARED FOR 1414 BIRCHRUN ROAD, AS PREPARED BY HOWELL ENGINEERING, FOR STORMWATER MANAGEMENT CALCULATIONS ASSOCIATED WITH THIS PROJECT. PLEASE NOTE THAT THE STORMWATER BED HAS BEEN DESIGNED ASSUMING THE PROPOSED IMPERVIOUS COVERAGE AS DEPICTED ON THIS PLAN. FUTURE IMPERVIOUS AREAS AND BEYOND THIS TOTAL MUST HAVE SEPARATE STORMWATER MANAGEMENT DESIGNED AT THAT TIME IF WARRANTED BY THE TOWNSHIP STORMWATER MANAGEMENT ORDINANCE.

**BMP STATEMENT**  
 NO BMP OR NON-WASTE CONFORMANCE MAY BE USED BY THE OWNER OR OTHERS FOR ANY PURPOSE OTHER THAN ITS INTENDED STORMWATER CONTROL FUNCTION, OR, IF APPROVED BY THE MUNICIPAL ENGINEER, A STATEMENT OF SPECIFIC ALLOWABLE USES OF THE BMP (ALLOWABLE USES BY AN INDIVIDUAL RESIDENTIAL LANDOWNER).

LEGEND			
---	EX. PROPERTY LINE	---	PROPOSED CONTOUR
---	PROP. PROPERTY LINE	---	EXISTING SPOT ELEV.
---	EX. RIGHT-OF-WAY	---	NEW SPOT ELEV.
---	PROP. RIGHT-OF-WAY	---	PROP. CONG. CURB
---	PROP. MONUMENT	---	PROP. EDGE OF PAVING
---	EX. MONUMENT	---	EX. EDGE LINE
---	PROP. REBAR	---	PROP. LIGHT POLE
---	EX. REBAR	---	EX. LIGHT POLE
---	PROP. EASEMENT	---	PROP. ELEC. LINE
---	EX. EASEMENT	---	EX. ELEC. LINE
---	PROP. STORM INLET	---	PROP. WATER LINE
---	EX. STORM INLET	---	PROP. WATER LATERAL
---	PROP. STORM INLET ID	---	PROP. FIRE WATER LINE
---	EX. STORM INLET ID	---	EX. WATER METER
---	PROP. SEEPAGE BED	---	PROP. WATER VALVE
---	EX. SEEPAGE BED	---	EX. HYDRANT
---	PROP. SAN. SEWER LINE	---	PROP. HYDRANT
---	EX. SAN. SEWER LINE	---	EX. HYDRANT
---	PROP. SAN. SEWER LATERAL	---	PROP. MANHOLE
---	EX. SAN. SEWER LATERAL	---	EX. MANHOLE
---	PROP. GAS VALVE	---	EX. LEGS TEST
---	EX. GAS VALVE	---	EX. LEGS TEST
---	PROP. STORM SEWER LINE	---	EX. LEGS TEST
---	EX. STORM SEWER LINE	---	EX. LEGS TEST
---	PROP. STORM SEWER LATERAL	---	EX. LEGS TEST
---	EX. STORM SEWER LATERAL	---	EX. LEGS TEST
---	PROP. TELE. LINE	---	EX. LEGS TEST
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UPI#: 25-3-101.1 & 25-3-101.1A

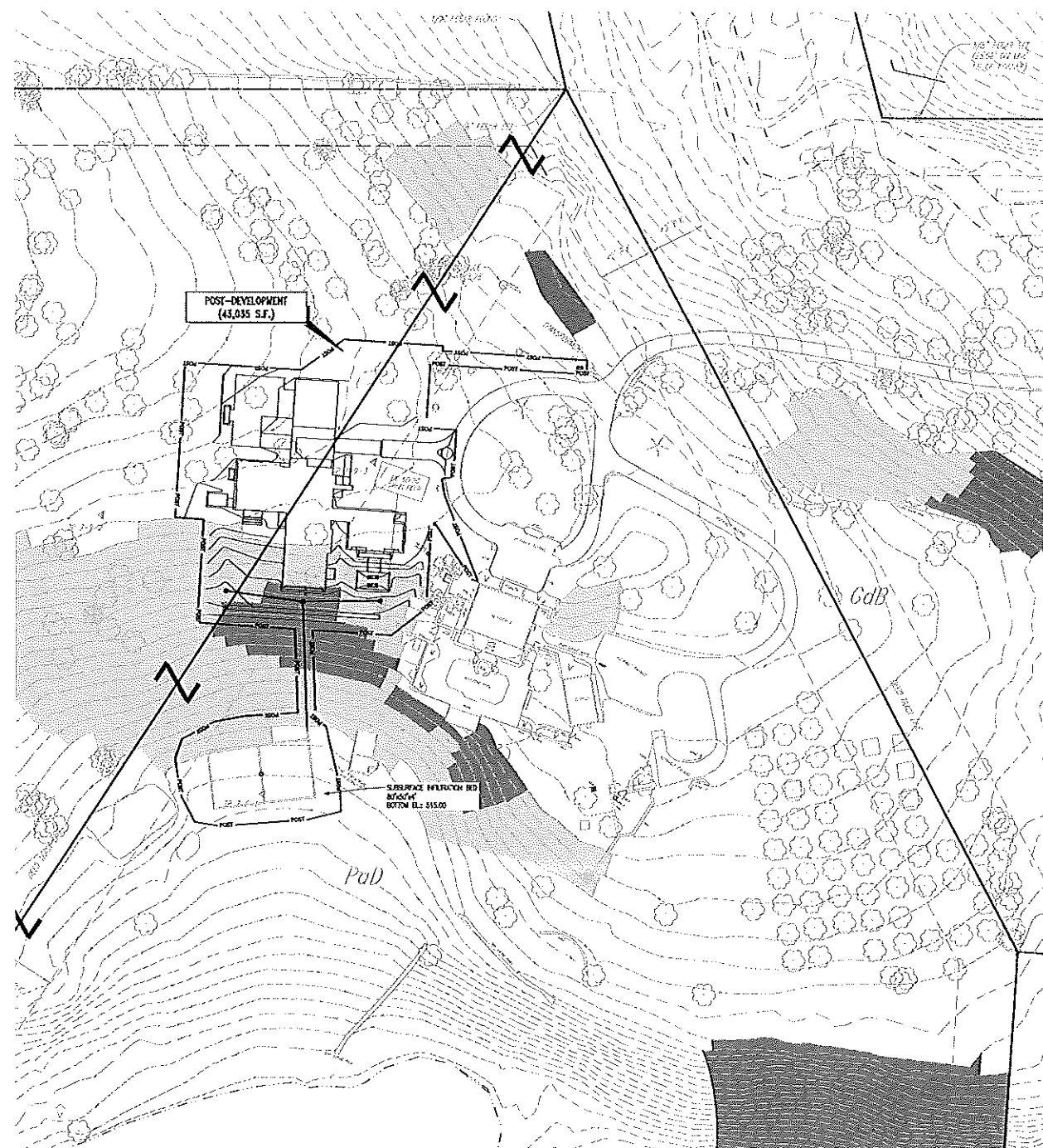
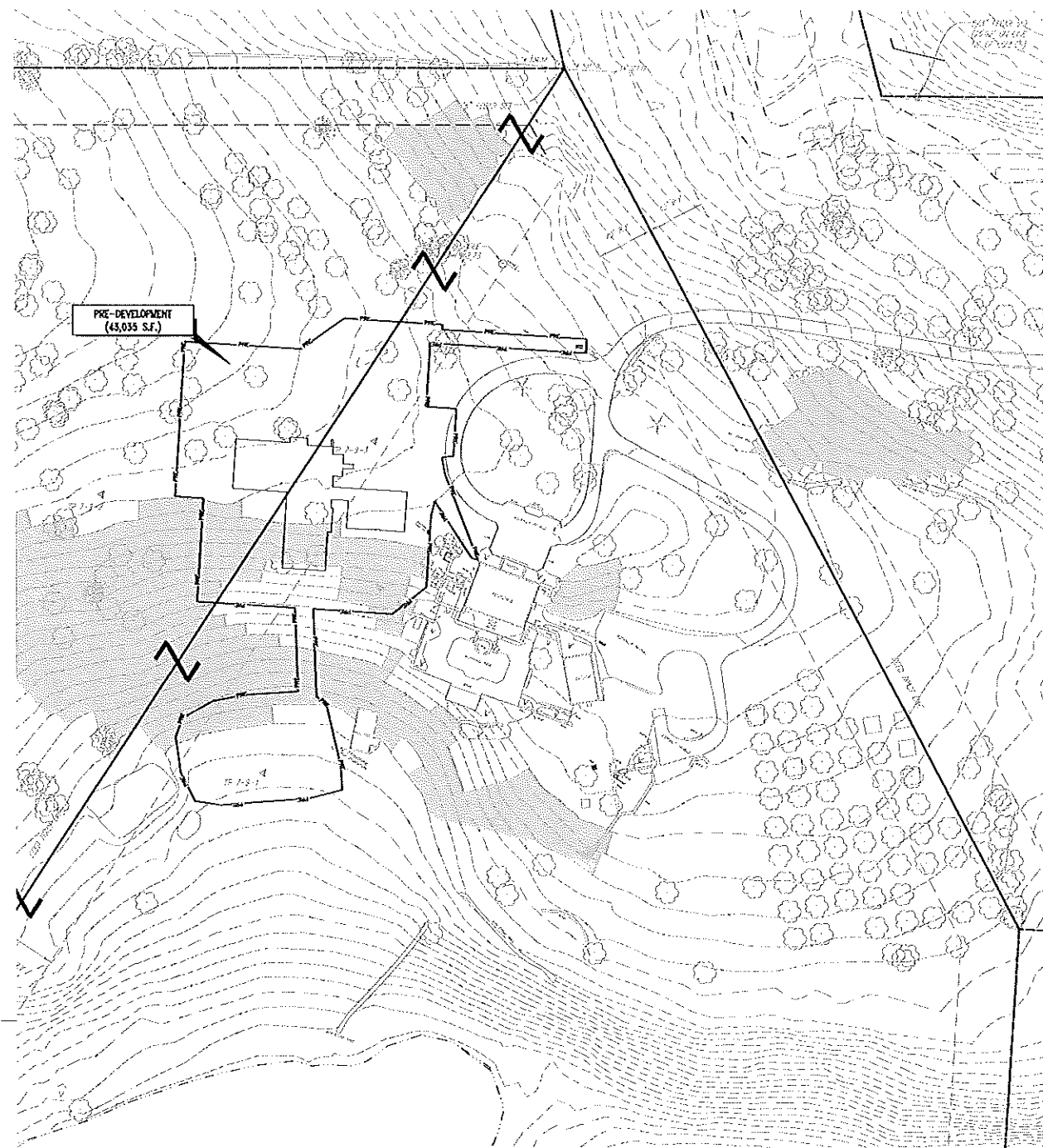
**PRELIMINARY PCSM PLAN**

CLIENT: 1414 BIRCHRUN ROAD LLC  
 PROJECT: 1414 BIRCHRUN BANCH  
 LOCATION: 1414 BIRCHRUN ROAD  
 WEST VINCENT TOWNSHIP, CHESTER COUNTY, PA

DATE: 08/19/2024  
 SCALE: 1"=50'  
 DRAWN BY: PSM  
 CHECKED BY: EJM  
 PROJECT NO.: 4972  
 CAD FILE: 04 PCSM PLAN.dwg  
 PLOTTED: 08/19/2024  
 DRAWING NO.: C04.1  
 SHEET 08 OF 10

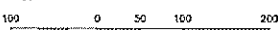




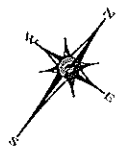


**PRE-DEVELOPMENT DRAINAGE AREA**

SCALE: 1" = 50'

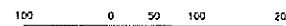


GRAPHIC SCALE  
1 Inch = 100 feet

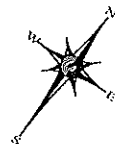


**POST-DEVELOPMENT DRAINAGE AREA**

SCALE: 1" = 50'



GRAPHIC SCALE  
1 Inch = 100 feet



**LEGEND**

---	EX. EGRESS LINE	---	EX. EGRESS LINE	□	PROP. LIGHT POLE	---	W	PROP. WATER LINE
- - -	PROP. PROPERTY LINE	---	EX. 12" G.D.	○	EX. 12" G.D.	---	W-L	PROP. WATER LATERAL
---	EX. 4" G.D. OF HWY	---	EX. 12" G.D.	+	EX. UTILITY POLE	---	W-L	PROP. FIRE WATER LINE
---	PROP. RIGHT-OF-WAY	---	NEW SPOT ELEV.	○	EX. 6" SIG	---	W-L	EX. WATER VALVE
□	EX. MARGINAL	---	GEB2	○	EX. 6" DIS LINE	---	W-L	PROP. WATER VALVE
■	PROP. MONUMENT	---	EX. CONC. CURB	○	PROP. GAS LINE	---	W-L	EX. HYDRANT
○	EX. REBAR	---	PROP. CONC. CURB	○	EX. GAS VALVE	---	W-L	PROP. HYDRANT
---	EX. BASEMENT	---	EX. EDGE OF PAVED	---	EX. STORM SEWER LINE	---	W-L	EX. MANHOLE
---	PROP. EASEMENT	---	PROP. EDGE OF PAVING	---	PROP. STORM SEWER LINE	---	W-L	EX. HAND TEST
---	EX. PAVEMENT	---	EX. LIGHT POLE	---	EX. STORM INLET	---	W-L	EX. HAND TEST
---	PROP. CONTOUR	---	PROP. ELEC. LINE	---	PROP. STORM INLET ID	---	W-L	
---	EXISTING CONTOUR	---	EX. 12" G.D.	---	PROP. SEEPAGE BED	---	W-L	
---	EX. 12" G.D.	---	EX. 12" G.D.	---	EX. SANDY SEWER LINE	---	W-L	
---	EX. 12" G.D.	---	EX. 12" G.D.	---	EX. SANDY SEWER LINE	---	W-L	
---	EX. 12" G.D.	---	EX. 12" G.D.	---	EX. SANDY SEWER LINE	---	W-L	

UPI#: 25-3-101.1 & 25-3-101.1A

**HOWELL ENGINEERING**  
Local Knowledge. Engineered.



NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		
7		
8		

**PRELIMINARY DRAINAGE AREA PLAN**  
CLIENT: 1414 BIRCHRUN ROAD LLC  
PROJECT: 1414 BIRCHRUN RANCH  
LOCATION: 1414 BIRCHRUN ROAD  
WEST VINCENT TOWNSHIP, CHESTER COUNTY, PA

DATE:	08/19/2024
SCALE:	1"=100'
DRAWN BY:	PSM
CHECKED BY:	ENH
PROJECT NO:	4972
DATE:	08/19/2024
PLANNING NO:	C04.3
SHEET:	10 of 10